

DOWNTOWN AUBURN FORM-BASED CODE

TABLE OF CONTENTS

- Intent of the Downtown Auburn/New Auburn Form-Based Code
- How To Navigate the Code
- Downtown Auburn/New Auburn Regulating Plan
- Downtown Auburn/New Auburn FBC District “Build-Out” Vision Illustration
- FBC District Building Frontage Types Purpose & Descriptive
- T4.1 Future Street Illustration/Intent & Vision Narrative/Photographs
- T4.1 Development Standards - Building Placement & Configuration; Building Frontages; External Elements
- T4.2 Future Street Illustration/Intent & Vision Narrative/Photographs
- T4.2 Development Standards - Building Placement & Configuration; Building Frontages; External Elements
- T5.1 Future Street Illustration/Intent & Vision Narrative/Photographs
- T5.1 Development Standards - Building Placement & Configuration; Building Frontages; External Elements
- T5.2 Future Street Illustration/Intent & Vision Narrative/Photographs
- T5.2 Development Standards - Building Placement & Configuration; Building Frontages; External Elements
- T6 Future Street Illustration/Intent & Vision Narrative/Photographs
- T6 Development Standards - Building Placement & Configuration; Building Frontages; External Elements
- Streetscape Standards
- Material Standards & Architectural Guidelines
- Street Types
- Definitions (Suggested)
- Administration & Enforcement
- Appeals

The Intent of the Downtown Auburn/New Auburn Form-Based Code is as follows: (DRAFT)

The “Code” provides a more clear, contextual, concise, visual and effective zoning regulation for the Downtown Auburn & New Auburn districts. The Form-Based Code is (visually) designed and formatted for ease of understanding by the general public and property-owners, and ease of use by those intending to develop and redevelop property within the designated Downtown Auburn and New Auburn Form-Based Code district.

Presented in a simple color-coded Regulating Plan, keyed to a range of Transect-based development zones (T4.1, T4.2, T5.1, T5.2, & T6) which prescribe fundamental minimum and maximum building development parameters such as building placement, height, width, window & door proportionality, on-site parking locations, as well as appropriate building frontage types, the Form-Based Code takes a development approach and delivers the overall built form character that was established in our New England towns and cities prior to adoption of complex, abstract, exclusively use-based zoning.

Form-Based Codes reconnect with the traditional way our New England towns and cities once planned and developed their great streets, lined with fine buildings all working together to create a pleasing, appealing, vibrant, active, convenient, liveable, walkable and therefore valuable Public Realm and pattern of growth and civic cohesion in our urban districts.

The “Code” is formulated to provide a more accelerated building design, review, approval and development process, and to deliver a more predictable building development outcome that is consistent with the traditional pedestrian-oriented street-building development pattern. It is this traditional pedestrian-oriented street-building development pattern that supports and generates a high-quality Public Realm, and therefore more vibrant social, cultural and economic urban districts in Downtown Auburn and New Auburn.

The “Code” emphasizes traditional building & street form and places less emphasis on conventional land use. The primary intent of the Code is to advance and establish a building development pattern that is based upon the physical relationship and interaction between the Public Realm of the sidewalk and street, and the Private Realm of building frontages and private property. Flexibility is designed into the prescribed built-form parameters to provide variation, diversity and a range of new construction options.

How to Navigate The Downtown Auburn/New Auburn Form-Based Code Section

Look at the Form-Based Code (FBC) District Regulating Plan to determine if your proposed lot and/or building development are located in the FBC District.

Note the Color which covers your proposed lot and/or building development location on the Regulating Plan; this color denotes the Transect Zone and the Development Standards that apply to your proposed lot and/or building development.

Review the Development Standards that apply to your development lot and/or building.

If your proposed lot and/or building development project complies with the Transect Zone Development Standards, go directly to **TRACK 1**

If your proposed lot and/or building development project does not comply with the Transect Zone Development Standards, a Regulating Plan Amendment is required.

See Regulating Plan Amendment **TRACK 2**

TRACK 1

Approval of Lot/Building Development is required in accordance with

Contact & consult with Auburn Planning Dept.

Apply for approval of your Lot/Building Development Plan in compliance with the applicable Transect Development Standards

If approved obtain Zoning Permit. With that and all other applicable permits, you can Start Work on your development project.

If not approved, Stop or pursue Appeal from the Auburn Planning Board

TRACK 2

Regulating Plan Amendment Track

Contact & consult with Auburn Planning Dept.

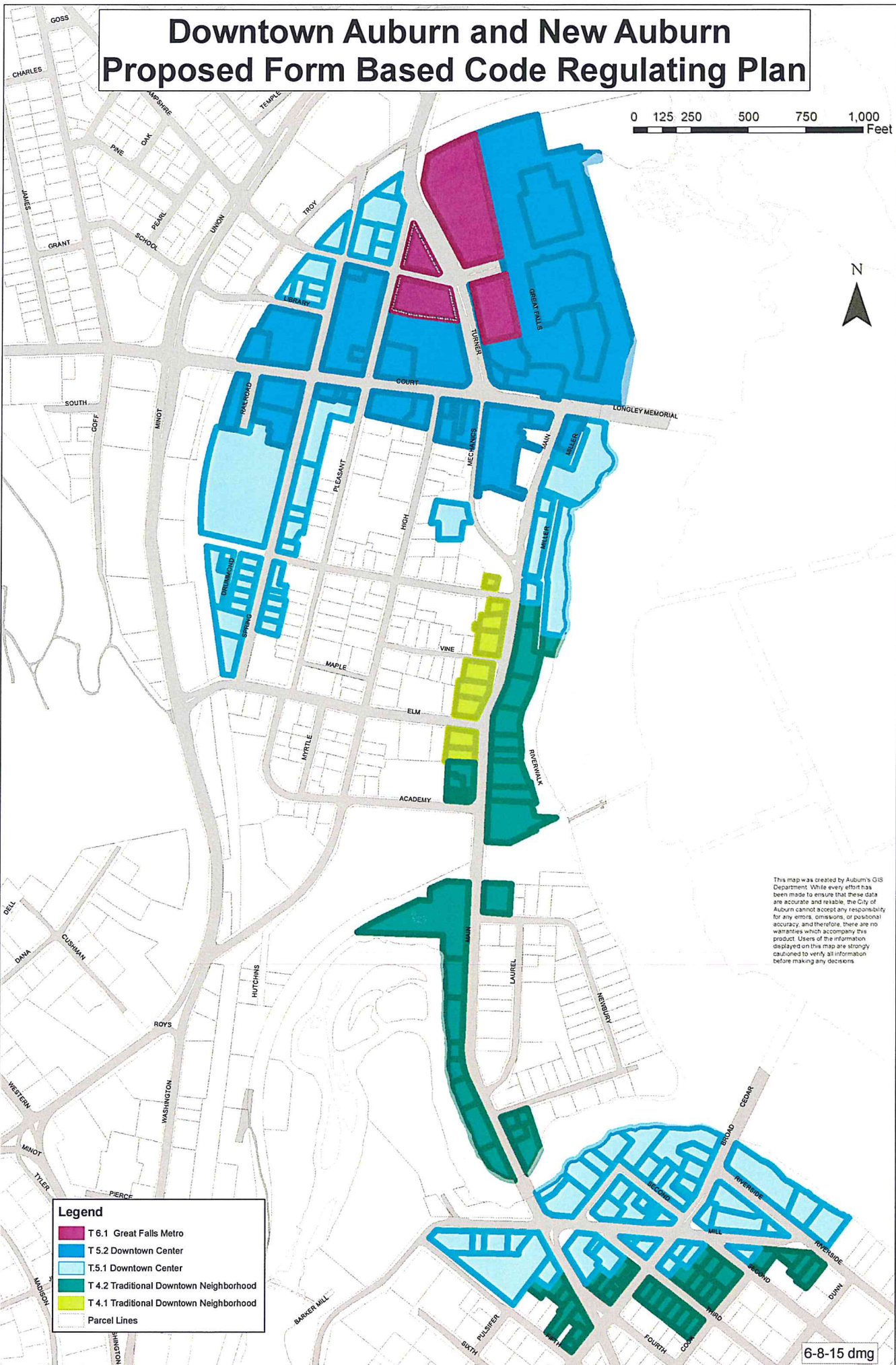
Submit request for Regulating Plan Amendment in compliance with the applicable Transect Zone Development Standards

If Regulating Plan Amendment is approved, proceed to the Lot/Building Development Plan Track 1

If Regulating Plan Amendment is not approved, then **stop** at this point in the process

Downtown Auburn and New Auburn Proposed Form Based Code Regulating Plan

0 125 250 500 750 1,000 Feet



This map was created by Auburn's GIS Department. While every effort has been made to ensure that these data are accurate and reliable, the City of Auburn cannot accept any responsibility for any errors, omissions, or positional accuracy, and therefore, there are no warranties which accompany this product. Users of the information displayed on this map are strongly cautioned to verify all information before making any decisions.

Legend

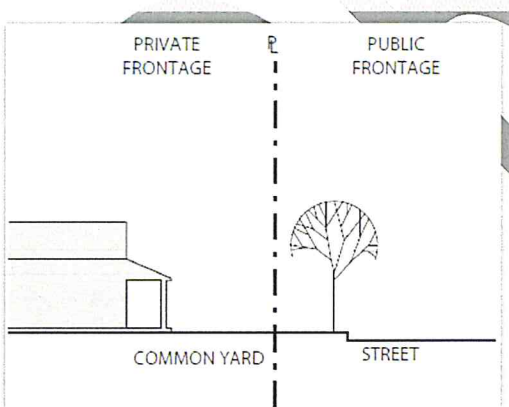
- T 6.1 Great Falls Metro
- T 5.2 Downtown Center
- T 5.1 Downtown Center
- T 4.2 Traditional Downtown Neighborhood
- T 4.1 Traditional Downtown Neighborhood
- Parcel Lines

DOWNTOWN AUBURN FORM-BASED CODE

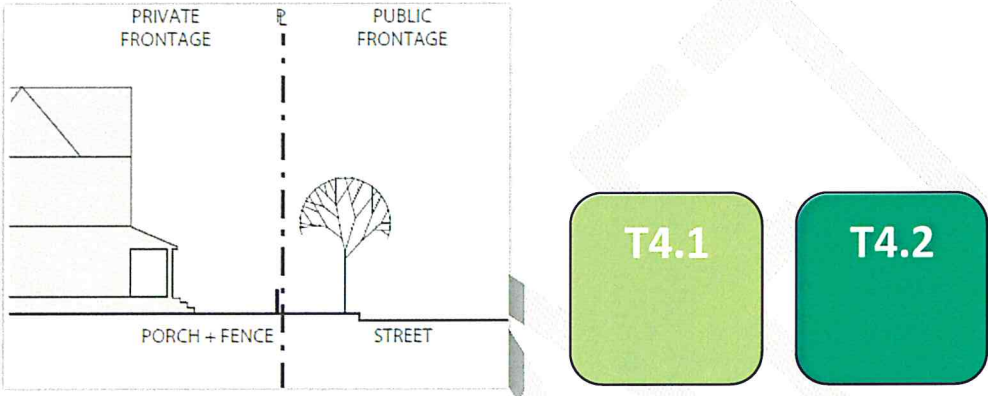
BUILDING FRONTAGE TYPE DESCRIPTIVE

Purpose: Private frontages (Frontage Types) are the components of a building that provide an important transition and relationship between the Public Realm (street and sidewalk) and the Private Realm (front yard and building). These standards supplement the development standards for each Transect zone that the frontage types are allowed within. For each frontage type, a description is provided. These standards are intended to ensure development that reinforces the highly-valued traditional character and human scale of Downtown Auburn & the New Auburn Village Center.

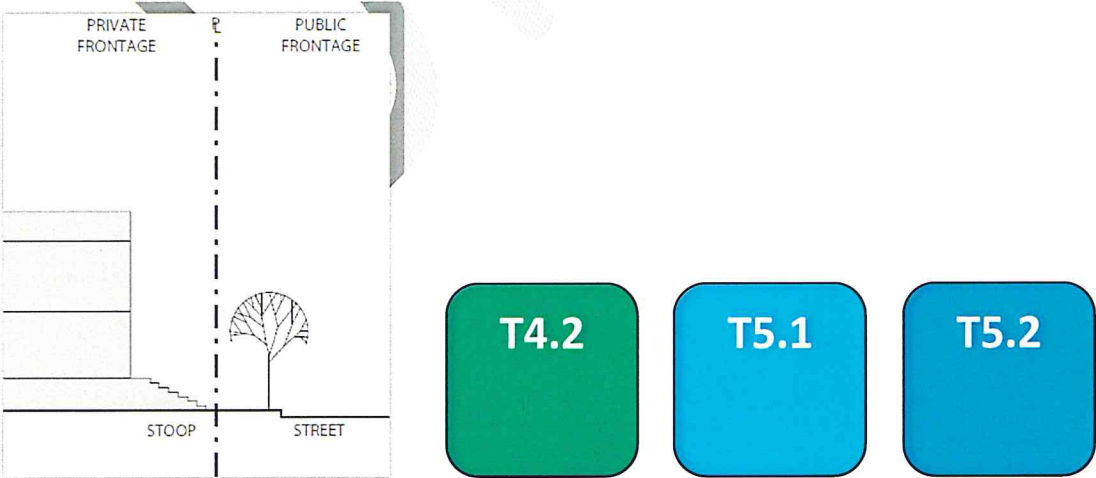
Common Yard: The main façade of the building has a large planted setback from the frontage line, providing a buffer from the downtown street. The front yard remains unfenced from the street and sidewalk, and is visually continuous with adjacent front yards, supporting a common landscape and in harmonious context with other private frontages along the downtown street.
(Permitted in T4.1; T4.2)



Porch Yard: The main façade of the building has a small-to-medium setback from the frontage line. The front yard is typically very small and may be defined by a fence to spatially maintain the edge of the street. A “projecting” porch is open on three sides and all habitable space is located behind the setback line. An “engaged” or “inset” porch is has two adjacent sides of the porch that are engaged or inset to the building front façade while the other two sides are open.
 (Permitted in T4.1; T4.2)

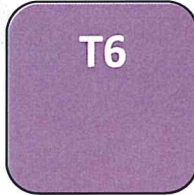
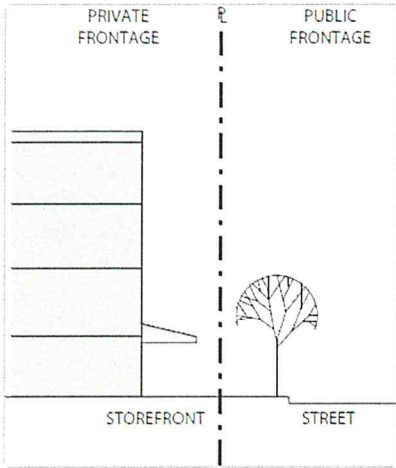


Stoop: The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This Type is appropriate for residential uses with small setbacks.
 (Permitted in T4.2; T5.1; T5.2)



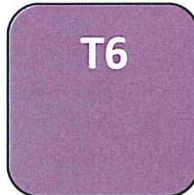
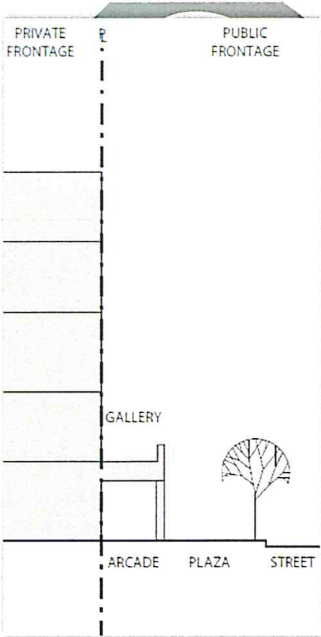
Storefront: The main façade of the building is at or near the frontage line with an at grade entrance along the public way. This Type is intended for retail use. It has substantial glazing (display windows) at the sidewalk level and may include an awning that may overlap the sidewalk.

(Permitted in T4.2; T5.1; T5.2; T6)

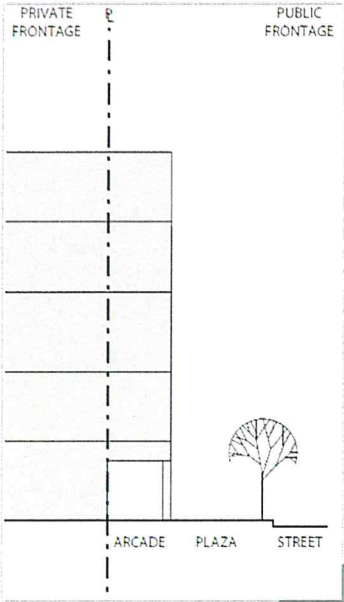


Gallery: The main façade of the building is at or near the frontage line and a continuous, covered space is attached to the length of the façade along the sidewalk Public Realm. This Type is intended for retail, professional and hospitality use. It has substantial glazing (windows) at the sidewalk level.

(Permitted in T5.1; T5.2; T6)



Arcade: The main façade of the building is at or near the frontage line and the ground floor is recessed from the building façade to allow for a continuous, covered passageway. This Type is intended for retail, professional and hospitality use. It has substantial glazing (windows) at the sidewalk level.
(Permitted in T5.1; T5.2; T6)



T5.1

T5.2

T6

TRADITIONAL MAIN STREET NEIGHBORHOOD

(INSERT T4.1 FUTURE STREET ILLUSTRATION)

Main Street Neighborhood (T4.1)

The Main Street Neighborhood zone is characterized by a pattern of large, architecturally prominent, and traditionally single-family homes set back from the busy urban neighborhood street by substantial front lawns. Both projecting and recessed front porches serve to form a connection to and relationship with the Public Realm of the street and sidewalk, and the Private Realm of the residential front yard and primary entrance to the building. The minimum & maximum lot widths, building widths and frontage build-out percentage form a lower-density and less concentrated street-wall pattern while maintaining a pleasing, connective and compact pedestrian and multi-modal urban environment. The Main Street Neighborhood zone serves residential, professional office, hospitality, institutional and other lower-intensity urban uses.

(INSERT T4.1 BUILDING & STREET PHOTOGRAPHS)

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

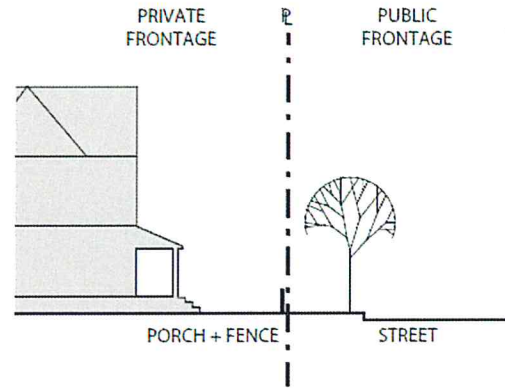
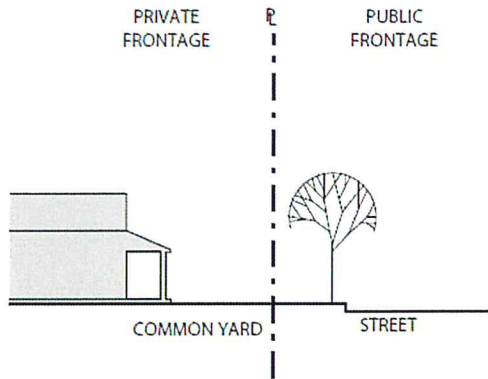
PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	15 ft Min, 25 ft Max
Frontage Build-out:	40% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	80% Max
Open Space Lot Coverage:	20% Min
Lot Width:	50 ft Min, 120 ft Max

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	24 ft Min, 64 ft Max
Building Height Minimum:	2 Story Min
Building Height Maximum:	2 Story Max (excluding attic story)

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Windows:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Common Yard; Porch Yard

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage.

Windows & doors shall comprise Min 20% & Max 40% of total façade frontage.

2 ft Min & 6 ft Max above front yard elevation.

Blank lengths of wall exceeding 10 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

EXTERNAL ELEMENTS

Front Yard Fence:	A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the Min front setback line.
Porch & Stoop Encroachments:	Porches & Stoops may encroach upon the Min front setback line by the following distances: Front Setback, Principal Frontage 10 ft Max; Front Setback, Secondary Frontage 10 ft Max.

TRADITIONAL DOWNTOWN NEIGHBORHOOD

(INSERT T4.2 FUTURE STREET ILLUSTRATION)

Downtown Neighborhood (T4.2)

The Downtown Neighborhood zone is characterized by a pattern ranging from small to medium sized buildings in a more connective and compact urban environment, and placed to engage in more direct contact between the Public Realm of the street and sidewalk, and the Private Realm of front porches, front stoops and traditional neighborhood-scaled storefronts. The minimum and maximum lot widths, building widths and frontage build-out percentage form a more moderate density and more concentrated street-wall pattern, sustaining increased architectural and social variety, diversity and sidewalk pedestrian vibrancy. The Downtown Neighborhood zone serves residential, professional office, mercantile, café, art gallery, artisan, and other traditional higher-density urban uses.

(INSERT T4.2 BUILDING & STREET PHOTOGRAPHS)

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

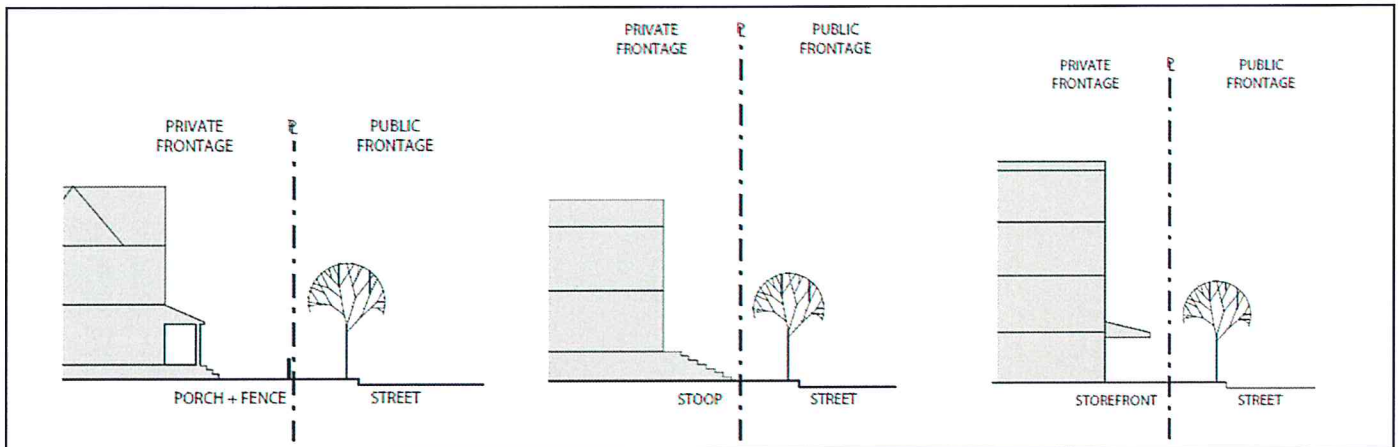
PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 15 ft Max
Frontage Build-out:	60% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	90% Max
Open Space Lot Coverage:	10% Min
Lot Width:	25 ft Min, 120 ft Max

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	12 ft Min, 96 ft Max
Building Height Minimum:	1 Story Min
Building Height Maximum:	3 Story Max (excluding attic story)

BUILDING FRONTAGES



BUILDING FRONTAGES:

Porch Yard; Stoop; Storefront

BUILDING ENTRIES:

Primary entry door shall be provided along ground story front façade.

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage (residential); Min 40% & Max 90% (storefront).

Upper Story Façade:

Window & doors shall comprise Min 20% & Max 40% of façade frontage.

Ground Story Finished Floor Elevation:

Residential: 2 ft Min & 6 ft Max above front yard or sidewalk elevation.
 Storefront: Front yard or sidewalk elevation Min & 2 ft Max.

Front Façade Wall:

Blank lengths of wall exceeding 10 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

EXTERNAL ELEMENTS

Front Yard Fence:	A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the Min front setback line.
Porch & Stoop Encroachments:	Porches & Stoops may encroach upon the Min front setback line by the following distances: Front Setback, Principal Frontage 10 ft Max; Front Setback, Secondary Frontage 10 ft Max.

DOWNTOWN TRADITIONAL CENTER

(INSERT T5.1 FUTURE STREET ILLUSTRATION)

Downtown Traditional Center (T5.1)

The Downtown Traditional Center zone is characterized by a pattern ranging from medium to larger sized buildings in a more intensely connective and traditionally compact urban environment, and placed to generate constant and direct contact and interplay between the Public Realm of the busy street and large sidewalk, and the Private Realm of the residential building stoops, commercial storefronts and gallery building fronts. The minimum and maximum lot widths, building widths and frontage build-out percentage form a more solid and compact street wall pattern, generating energized, spontaneous and vibrant 18-hour street-life. The Downtown Traditional Center zone serves high-density residential, upper-story professional office, ground-story mercantile, restaurant, café, art gallery and other traditional high-density urban uses.

(INSERT T5.1 BUILDING & STREET PHOTOGRAPHS)

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

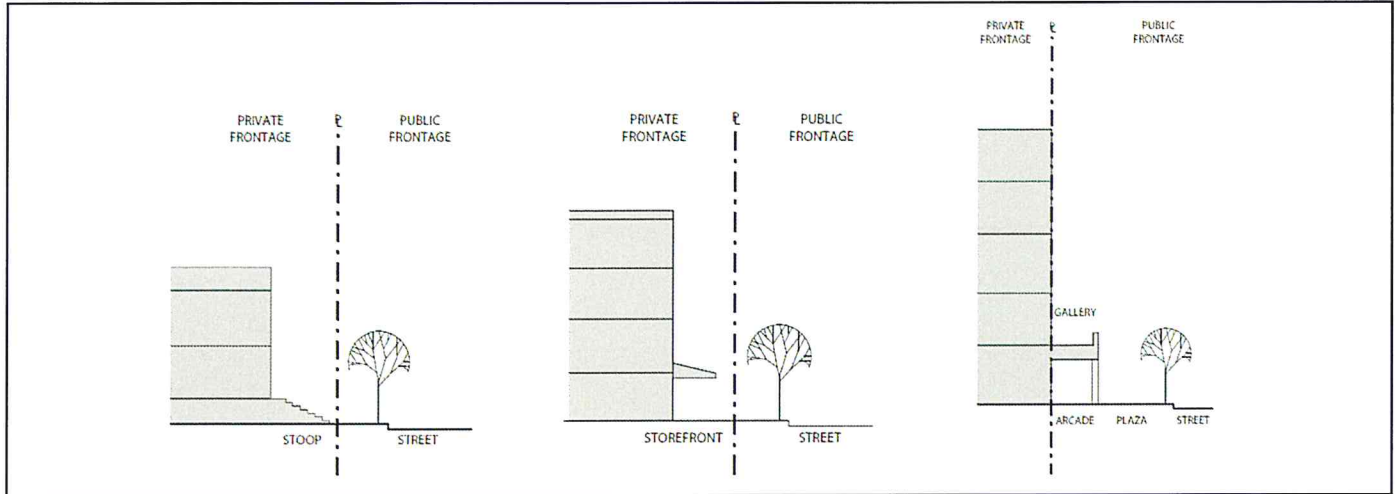
PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 10 ft Max
Frontage Buildout:	75% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	95% Max
Open Space Lot Coverage:	5% Min
Lot Width:	25 ft Min, 160 ft Max

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	12 ft Min, 144 ft Max
Building Height Minimum:	2 Story Min
Building Height Maximum:	4 Story Max (excluding attic story)

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Stoop; Storefront; Gallery

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage (residential); Min 60% & Max 90% (commercial).

Windows & doors shall comprise Min 20% & Max 40% of façade frontage.

Residential: 2 ft Min & 6 ft Max above front yard or sidewalk elevation.

Storefront: Front yard or sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 20 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

EXTERNAL ELEMENTS

Front Yard Fence: A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.

Front Yard Fence/Wall Opening: A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.

Required Street Wall Height: A street wall a Min of 4ft & a Max of 6ft in height shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk, or when not adjacent to a sidewalk, from the ground elevation once construction is complete.

Building Projections: No part of any building, except overhanging eaves, awnings, balconies, bay windows, and other architectural features shall encroach beyond the Min front setback line.

DOWNTOWN CITY CENTER

(INSERT T5.2 FUTURE STREET ILLUSTRATION)

Downtown City Center (T5.2)

The Downtown City Center zone is characterized by a pattern ranging from medium to large sized buildings in an intensely connective and highly compact urban environment, and placed to generate dynamic social, cultural and economic exchange, experiences, encounters and enterprise between the Public Realm of the primary transportation corridors and large sidewalks, and the Private Realm of the large residential and commercial building frontages and blocks. The minimum and maximum lot widths, building widths, frontage build-out percentage, and minimum and maximum building heights form a solid, compact and massive street wall pattern generating strong regional social and economic attraction, urban lifestyle options and urban architectural prestige.

(INSERT T5.2 BUILDING & STREET PHOTOGRAPHS)

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

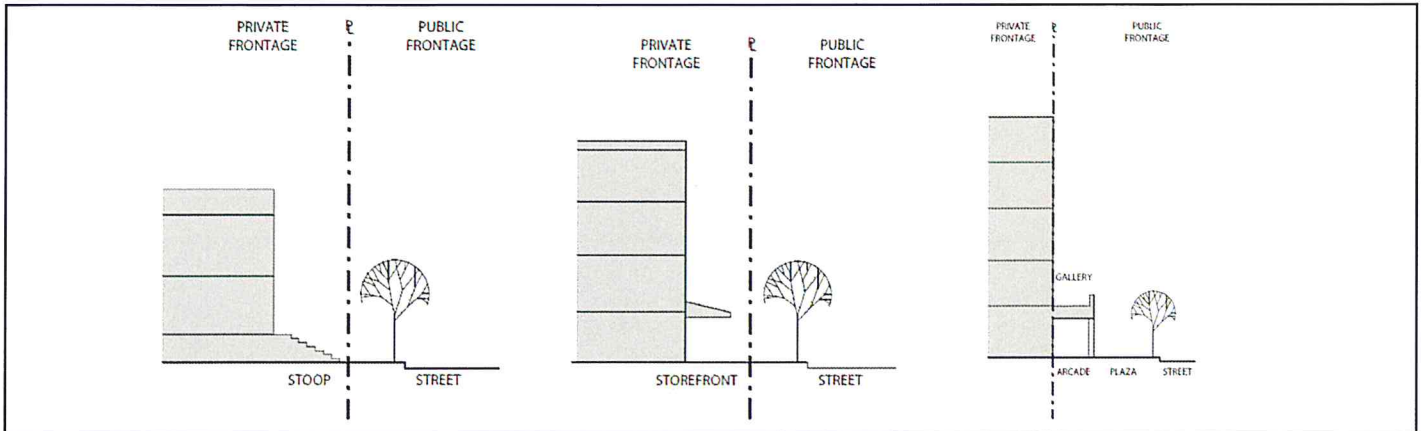
PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 10 ft Max
Frontage Build-out:	80% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	95% Max
Open Space Lot Coverage:	5% Min
Lot Width:	25 ft Min, 240 ft Max

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	12 ft Min, 200 ft Max
Building Height Minimum:	2 Story Min
Building Height Maximum:	6 Story Max (excluding attic story)

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Stoop; Storefront; Gallery

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 25% & Max 60% of total façade frontage (residential); Min 60% & Max 90% (commercial).

Windows & doors shall comprise Min 20% & Max 40% of façade frontage.

Residential: 2 ft Min & 6 ft Max above front yard or sidewalk elevation.

Commercial: Sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 20 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

EXTERNAL ELEMENTS

Front Yard Fence:	A front yard fence a Min of 3 ft & Max of 4 ft in height is encouraged to maintain spatial edge of street.
Front Yard Fence/Wall Opening:	A vehicle entry way, as part of a front fence/wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.
Required Street Wall Height:	A street wall a Min of 4ft & a Max of 6ft in height shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk, or when not adjacent to a sidewalk, from the ground elevation once construction is complete.
Building Projections:	No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the Min front setback line.

GREAT FALLS METROPOLITAN

(INSERT T6 FUTURE STREET ILLUSTRATION)

Great Fall Metropolitan (T6)

The Great Fall Metropolitan zone is characterized by a pattern of large metropolitan buildings & office towers placed to contain and define the City of Auburn’s preeminent social, cultural and economic urban central square; “Great Falls Square”. Great Falls Square provides a dominant metropolitan focal point and an identifiable urbane center for professional enterprise, institutional service, and metropolitan commerce. The upper stories of buildings and office towers accommodate high concentrations of tenants including residents, management & finance professionals, medical professionals, technology & innovation firms, metropolitan universities and colleges. The ground-level stories shall form a contextual fabric of commercial spaces designed to accommodate large-scale retail/specialty stores, fine dining restaurants, creative co-work spaces, innovation centers, and 18-hour social gathering places. The Great Falls Metropolitan urban form shall generate strong regional socio-economic gravitational pull, corporate attraction, regional visitor experience, and urbane prestige within a vibrant Downtown Auburn Central Square.

(INSERT T6 BUILDING & STREET PHOTOGRAPHS)

BUILDING PLACEMENT & CONFIGURATION

(INSERT ILLUSTRATIVE REGULATORY PANELS)

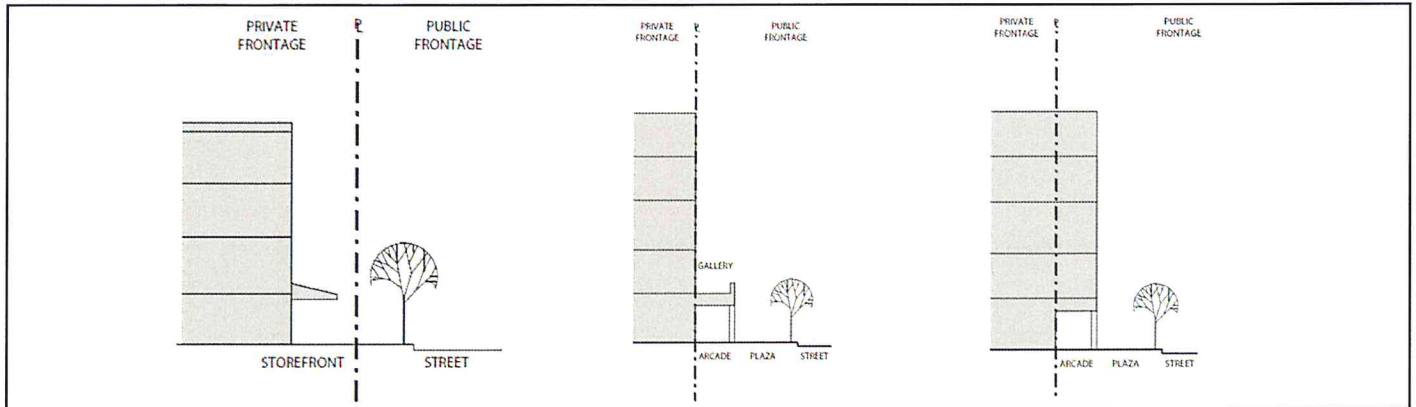
PRINCIPAL BUILDING PLACEMENT:

Orientation:	N/A
Front Setback:	0 ft Min, 10 ft Max
Frontage Build-out:	80% Min (along front setback)
Side Setback:	5 ft Min
Rear Setback:	10 ft Min
Building Lot Coverage:	95% Max
Open Space Lot Coverage:	5% Min
Lot Width:	24 ft Min, 240 ft Max

PRINCIPAL BUILDING CONFIGURATION:

Building Width:	16 ft Min, 224 ft Max
Building Height Minimum:	4 Story Min
Building Height Maximum:	12 Story Max (excluding attic story)

BUILDING FRONTAGES



BUILDING FRONTAGES:

BUILDING ENTRIES:

BUILDING ENVELOPE ARTICULATION:

Ground Story Façade:

Upper Story Façade:

Ground Story Finished Floor Elevation:

Front Façade Wall:

Storefront; Gallery; Arcade

Primary entry door shall be provided along ground story front façade.

Windows & doors shall comprise Min 60% & Max 90% of total façade frontage.

Windows & doors shall comprise Min 20% & Max 40% of façade frontage.

Sidewalk elevation Min & 2 ft Max.

Blank lengths of wall exceeding 20 linear ft are prohibited. Architectural jogs of 18 inches in depth are permitted.

EXTERNAL ELEMENTS

Street Wall Opening:

A vehicle entry way, as part of a front street wall, shall be a Max width of 18 ft; a pedestrian entry way shall be a Max width of 6 ft.

Required Street Wall Height:

A street wall a Min of 4ft & a Max of 6ft in height shall be required along the building line frontage that is not otherwise occupied by the principal building on the lot. The height of the street wall shall be measured from the adjacent public sidewalk, or when not adjacent to a sidewalk, from the ground elevation once construction is complete.

Building Projections:

No part of any building, except overhanging eaves, awnings, balconies, bay windows and other architectural features shall encroach beyond the Min front setback line.

FORM-BASED CODE DEFINITIONS (Suggested)

1. **Architectural Features** means exterior building elements intended to provide ornamentation to the building massing, including but not limited to, eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.
2. **Development Standard(s)** means building standards that establish basic parameters governing building form, including the envelope for building placement in three dimensions and certain permitted and required building elements such as storefronts, balconies, street walls, etc. The Development Standards establish both boundaries within which development may take place and what requirements apply. The intent of the Development Standards is to shape vital public space throughout the Downtown Auburn Form-Based Code District through placement and envelope controls on buildings that frame the street space.
3. **Building Form** means the overall shape and dimensions of a building.
4. **Eave** means the edge of a roof which projects beyond the wall.
5. **Encroachment** means any architectural feature, structure or structural element, such as a gallery, fence, garden wall, porch, stoop, balcony, bay window, terrace, or deck that breaks the plane of a vertical or horizontal regulatory limit exceeding into a setback, beyond the Build-to-Line, into the public frontage, or above a height limit.
6. **Facade** means the vertical surface of a building.
7. **Frontage** means a strip or extent of land abutting a street or other public right-of-way.
8. **Frontage, Private** means the area between the building façade and the shared lot line between the public right-of-way and the lot.
9. **Frontage, Public** means the area between the curb of the vehicular lanes and the edge of the right-of-way.
10. **Frontage Line** means the lot line(s) of a lot fronting a street or other public way.
11. **Illustrative Plan** means a plan or map that depicts (i.e. Illustrates but does not regulate) the streets, lots, buildings and general landscaping of the proposed Downtown Auburn/New Auburn Form-Based Code District.
12. **Parapet** means a low wall along the edge of a roof or the other portion of a wall that extends above the roof line.

13. **Primary Entrance** means a section of building elevation which contains the street level principal entrance of the business, including the businesses on upper floors or in a basement.
14. **Public Realm** means the physical and social domain of the public that is held in common either by their physical presence or visual association. This includes but is not limited to sidewalks, plazas, squares, parks, streets, public frontages, private frontages, civic buildings and civic spaces.
15. **Regulating Plan** means a set of maps that shows the transect zones, special districts, and special requirements for areas subject to, or potentially subject to, regulation by a Form Based Code. It may also show streets and open public spaces, designate where various building form standards (based on intensity of urbanism) for building placement, design and use will apply. The Regulating Plan graphically shows, applies and places the regulations and standards established in a Form Based Code.
16. **Transect (Rural-to-Urban)** means a cross-section of the environment showing a range of different building development zones. The Rural-to-Urban Transect of the human environment is divided into multiple transect zones that describe the physical form and character of a place according to the intensity of its land use and building development pattern.
17. **Transect Zone** means one of the several areas on the Regulating Plan, including T4.1, T4.2, T5.1, T5.2, T6.